



City of Live Oak – Planning Department Required Site Maintenance & Upgrades

Examples of Types of Required Maintenance or Code Requirements

- Required for all: new construction, redevelopment, site-work permits, new business, change of use, change of owner, CRA Grants, Business Tax Receipt application; or when identified as part of a Code Violation Case.
- Existing locations which are non-conforming may require other improvements according to our LDR.

Regular Parking space standards are 20' in length and 10' in width.

(Existing spaces not to this size may continue to be used, so long as otherwise maintained – min. 9' x 18'.)

Parking lot and driveway access areas must be kept maintained.

(If you have any deficiencies or potholes on your property, they must be fixed to not pose a safety hazard for vehicular and pedestrian traffic.)

All striping must be clearly evident

(If you have any faded, deficient or a lack of striping: parking spaces, stop bars, hatch marks, etc., they must be **re-striped** when not clearly evident, including in order for a Business Tax License application to be approved.)

White is standard color, however, if your striping is currently yellow, you may re-stripe with same color. Pre-mixed parking lot grade paint is available at major paint centers and big box hardware stores. Hand-held spray paint is prohibited as it does not meet standards.



City of Live Oak Planning Department Mission:

World class service which promotes and preserves the character and sense of place for the City, raising the expectation for a standard of excellence, meeting challenges with genuine solutions, and facilitating results which will serve as a model for all to emulate and take pride in.

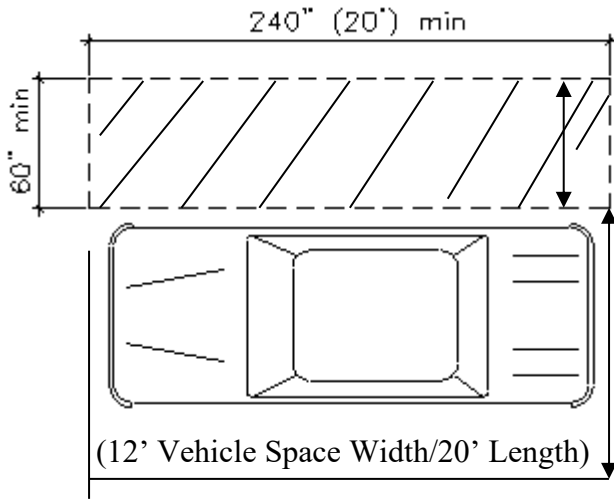
- Regular Parking Spaces must be re-striped when faded.



- Curb areas must be re-painted when faded.



ADA SPACE REQUIREMENTS – CITY OF LIVE OAK



5' x 20' Hatched Access Isle

5' Hatched area can be on left or right side of space, so long as there is a min. 44" of access aisle in front of space(s) leading to any building structure or sidewalk.

12' x 20' Striped Parking Space

- Spaces provided to meet standards must be concrete or asphalt with connecting sidewalks.
- Paint must be parking lot type – hand held spray paint is prohibited by code.

(Up to 25 – 1 ADA; if 26 to 50 total spaces – 2 ADA spaces needed, etc.)

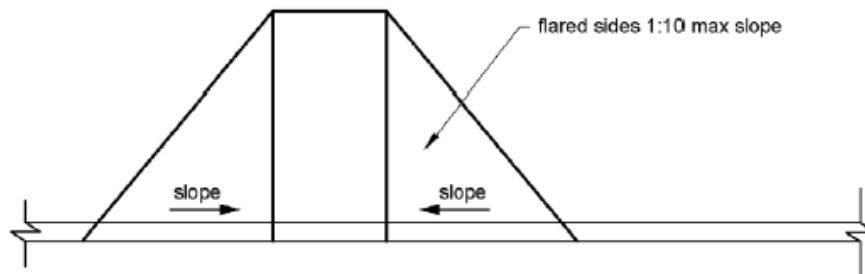


ADA Spaces must be painted as shown.

Space 12 feet in width.

Hatched area 5 feet in width.

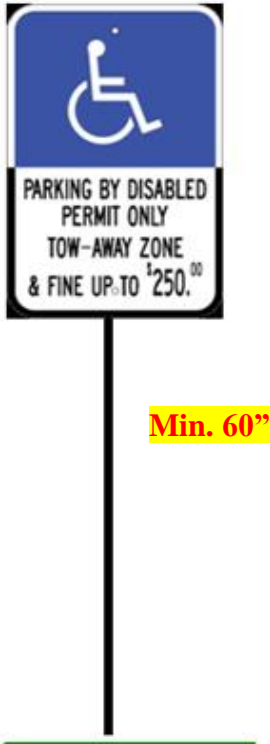
(* Example is missing required sidewalk ramp from hatched area – see below)





Required Sign may be wall or post / pole mounted.

Height from ground min. 60”.



All commercial businesses must have a proper ADA space provided or installed.

If no sign on wall (as above), then must have sign on a pole. Must be minimum 60” from ground to bottom of sign. Sign must read exactly as shown with symbol, wording and fine (\$250.00) displayed.

*** Florida Statutes require all paint and striping to be clearly evident and distinguishable. If your striping and/or symbol is faded or not clear, it must be repainted with fresh paint in order to meet code.**

*** All New ADA spaces installed where there was previously no impervious material, will also trigger a new Landscaped Area a minimum area of 50 square feet, which must contain 1 – 4 foot tree, 3 – 5 gallon shrubs and 6 – 2 gallon plants, which must be maintained.**

(* Signs are available online, or can be made by local printing/sign shops.)

- All ADA / Handicapped spaces must provide min. 44” wide marked access aisles to building entrance.
- ADA spaces shall not be placed where any user would be compelled to walk or wheel behind any parking space.
- All ADA / Handicapped spaces which are located away from building entrances must have cross-walks.



- Painted crosswalks are also required for internal sidewalks across driveways, & repainted when faded.



- All parking spaces must either have raised curbing or cement stops installed.
- If not present, cement stops will need to be installed for all spaces to pass inspection.



- All weeds on property must be clear cut and/or sprayed with weed killer for a clean, maintained appearance.



- All curbing must be clean.
- Grass and weeds sprayed with weed killer and/or trimmed back so that curb is proper.
- All dirt and debris blown off.



- Directional arrows are required **within** parking lots, **as well as** at all entrances and exits, & repainted when faded. One-way entrances and exits must have “Do Not Enter” signs facing opposite flow.



- Besides in/out arrows, all 2-way driveways require center-line double striping to show travel lanes.



- All driveway exits, and internal stopping areas, must have a painted white “Stop-Bar”.
- Placement is across the width of the single exit/egress travel lane, and it must be 24 inches wide/deep.
- Repainted when faded.



- Stop signs (24" min.) at parking lot exits must be installed or replaced if faded, damaged or missing.



- Light pole and sign pole bases, bollards, etc. must be painted yellow and repainted when faded.



- All business and commercial locations must have a double-check valve waterline back-flow device installed, to meet City specifications.
- It must be installed between the water meter and any private water use (hose bib, spigot, supply to building, etc.)
- It must be installed above ground on private property, and inspected on an annual basis with an inspection tag attached.



- If security, cold-weather insulating, or aesthetic screening is desired, there are many options for such, at the owner's option.



BACKFLOW ENCLOSURES



• ASSE approval on all three classifications

• Two-piece design for easy lift-off access

• Available in two colors: Brown Granite or Green Turf

NEW

